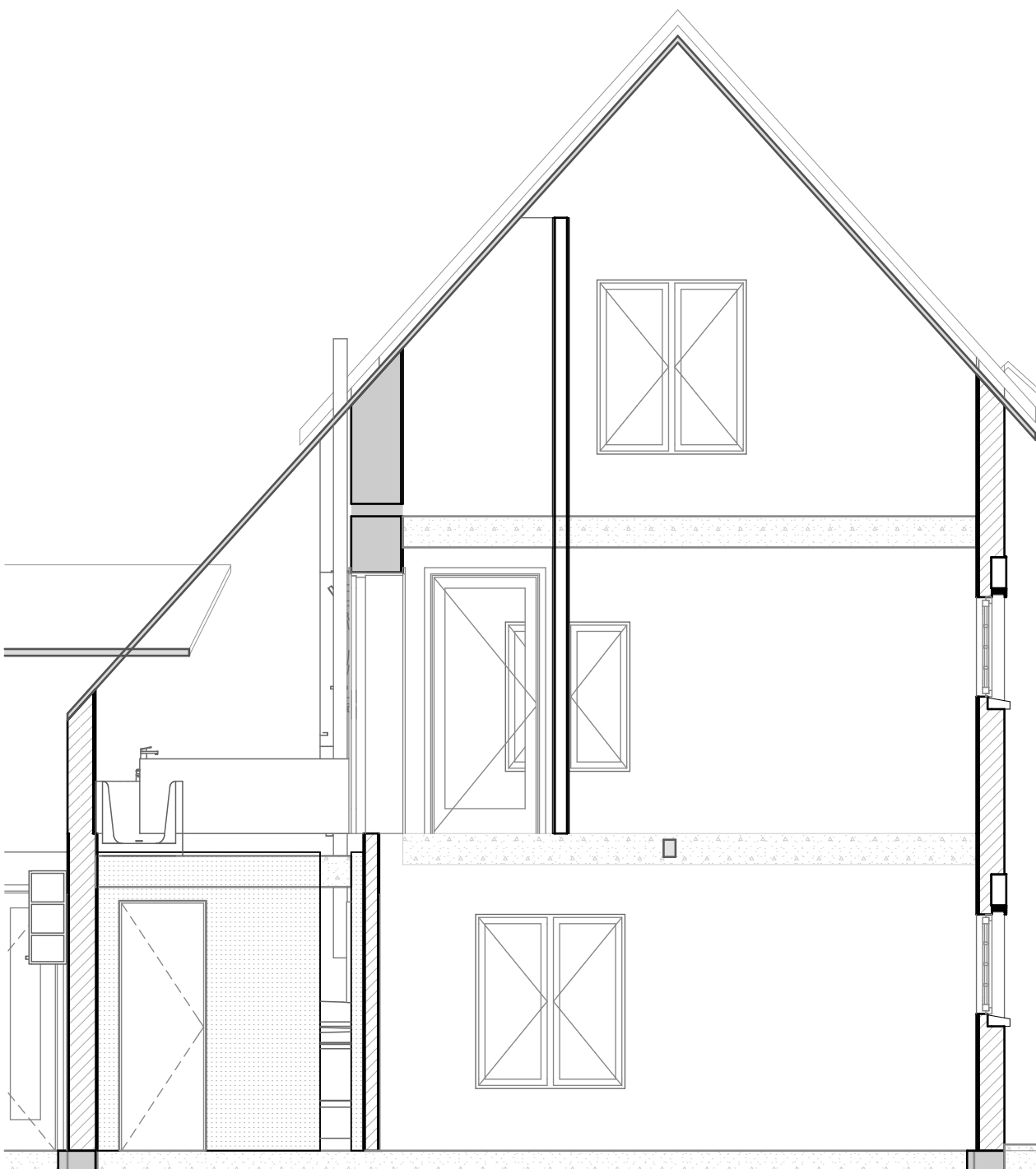




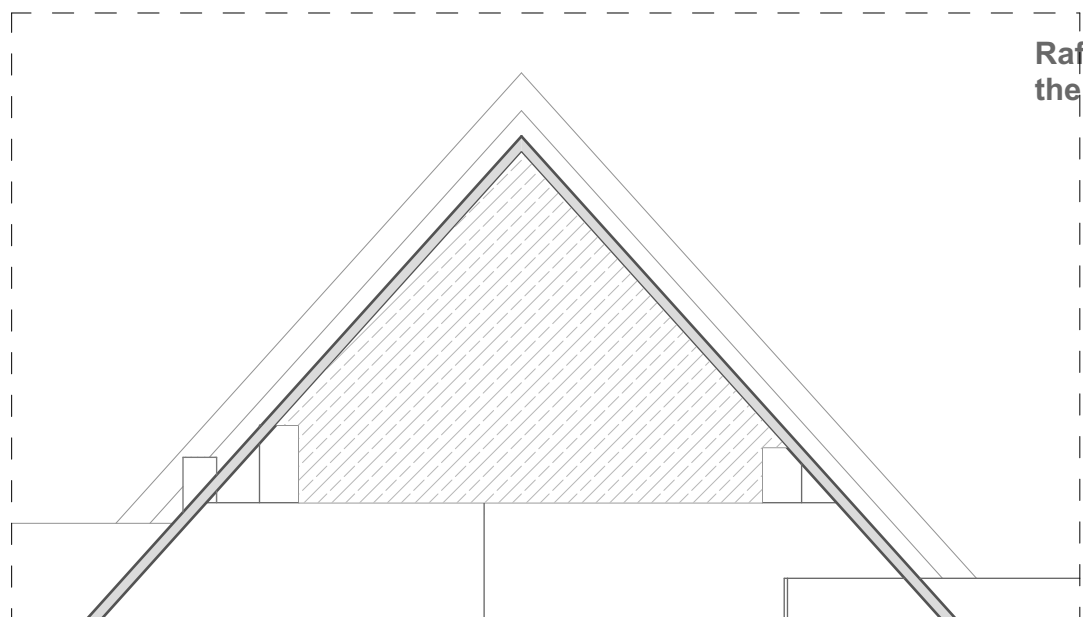
S-14 Building Section 1:50



All existing Structural timbers are to be retained and where required, repaired in accordance with the engineers report and designs, all proposed works are to be agreed with the conservation officer prior to any works commencing and all materials and methods agreed.



All original windows are to be retained any proposed works are to be agreed with the conservation officer prior to any works commencing and all materials and methods agreed.



Rafters to be stabilised in accordance with the engineers report.

D-03 Detail 1:25

GENERAL CONSTRUCTION NOTES

PLASTERER

Stud partitioning and ceilings:-
12.5 mm plasterboard and 5mm skim finish.

Masonry walls:-
Natural Hydrated Lime plaster in two coats.

General guidance notes for Plastering/Rendering

The contractor instructed to carry out the rendering and plastering must be fully conversant with the methods and best practices of applying lime based renders and plasters.

Background Preparation: Follow good working practices, ensure that the background is thoroughly clean. If the background is saturated check externally for cracks or other causes of water penetration. Causes of damp should be remedied and cracks should be cleaned out, (packed with low fire clay tiles or slate if necessary) and sealed with an NHL pointing mortar.
Keying: Joints should be raked back (normally 10mm) to provide a key for the under coat.

Suction Control: Apply sufficient water to reduce excessive suction, especially on bricks and porous stone. On many occasions this is done the day before, if necessary several times with the last damping just before application starts. Apply water starting at the top of the structure. Always dampen down before applying

Dubbing out: On defaced surfaces or in areas with a large amount of damaged joints it might be necessary to apply a dubbing out coat (using a 3-4mm down well graded aggregate) to provide a relatively level surface.
The strength should, as always, be compatible with the type of background but a moderately hydraulic lime mix, of one part NHL 3.5 to two parts grit sand is recommended in this case.
Just before the mortar is ready for application horse, goat, cow or yak hair should be added to the mix approx... 0.5 kg per 100 litres.

Thickness can vary according to the overall thickness required but should normally be between 10 and 12 mm. It must not be applied over 15 mm thick. If this is required it should be done as an extra coat (two intermediate coats) each not above 12 mm. The thicker the intermediate coats the longer the waiting time before each application. Provide a criss cross key, creating 25-35 mm diamonds, with a pointed but blunt wooden lath.

Where different materials meet, and where there are timber lintels and other changes in the background material it is necessary to fix timber laths on counter laths.

Patching existing lath and plaster ceilings:

Wood lath backgrounds should be well wetted the day before, and again 2 hours before work proceeds.
Hair must be added to all but the finishing coat.
Subsequent coats are applied and looked after in the same way as is described above. Any subsequent under coat/float coat on the ceiling will need to match in with existing levels allowing for a skim finish of approx... 2-3mm

If lath is to be treated against insect and fungal attack it is to only be treated with a water based carrier solution and must be fully dried out before any work commences. Drums of the treatment should be retained on site for inspection to ensure compliance.
Areas still wet from timber treatment will cause failure.

Before plastering starts it is essential that all laths are sound and securely fitted any new laths should be laid so as not to create long continuos joints and they should be left a few mm short of each other to allow for swelling when wetted.

DECORATION

Decoration is to be confirmed with the client, but generally allowed for as follows:-

All existing items requiring decoration shall be thoroughly cleaned and all detritus materials removed prior to priming.

All external joinery will be treated with a recommended preservative and decorated using primer, under coat and two coats of gloss paint. (Colour and appearance to be discussed and confirmed with the conservation officer)

All walls to have three coats of emulsion and ceilings to have three coats of white emulsion.

Windows to be decorated using primer, under coat and two coats of gloss paint.

Window boards and internal doors, architraves, skirting and frames to be decorated using primer, under coat and two coats of gloss paint.

Wall strings, balustrades and handrails to stairs to be decorated using primer, under coat and two coats of gloss paint.

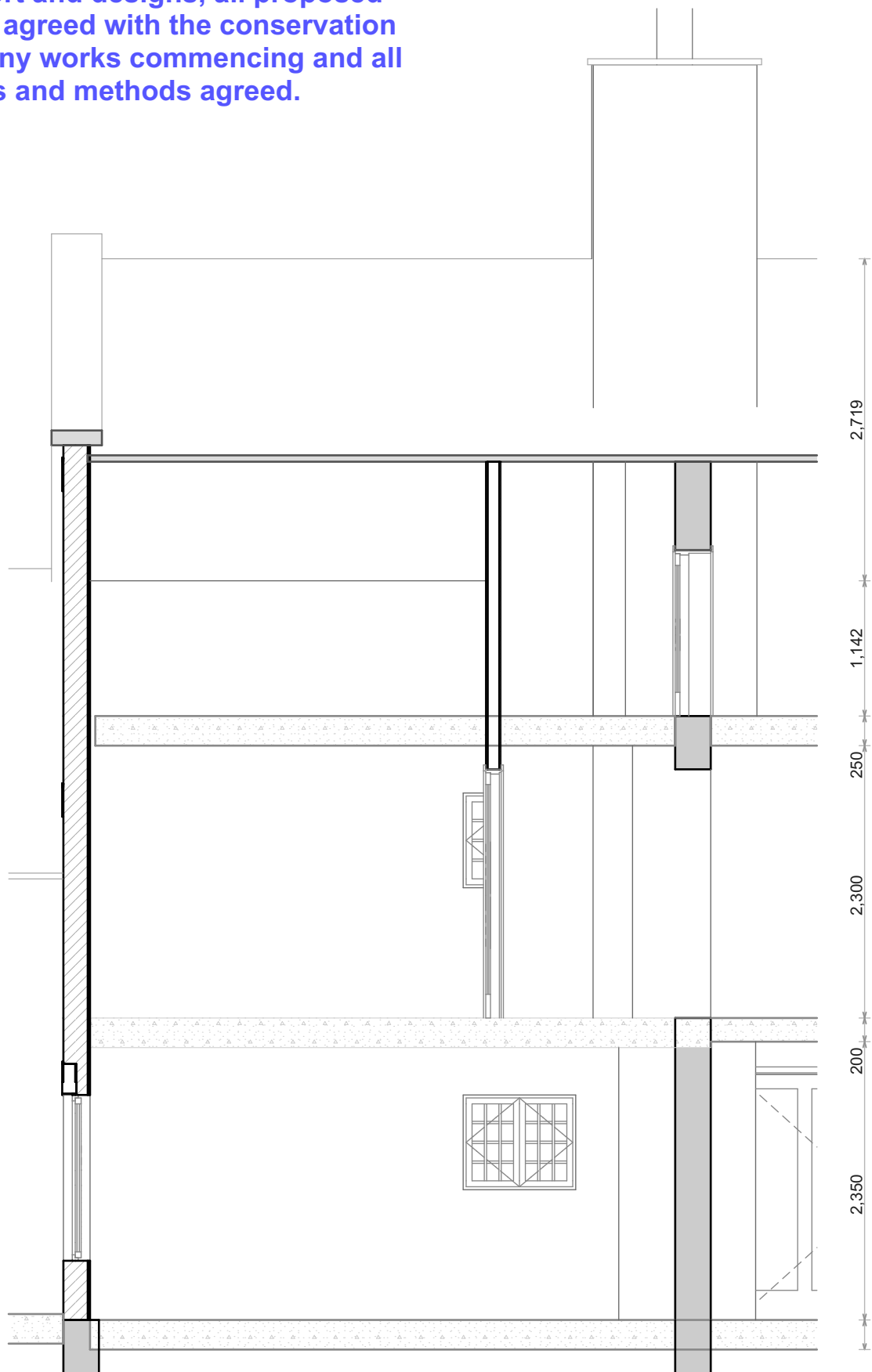
Caulking is required to all abutments.



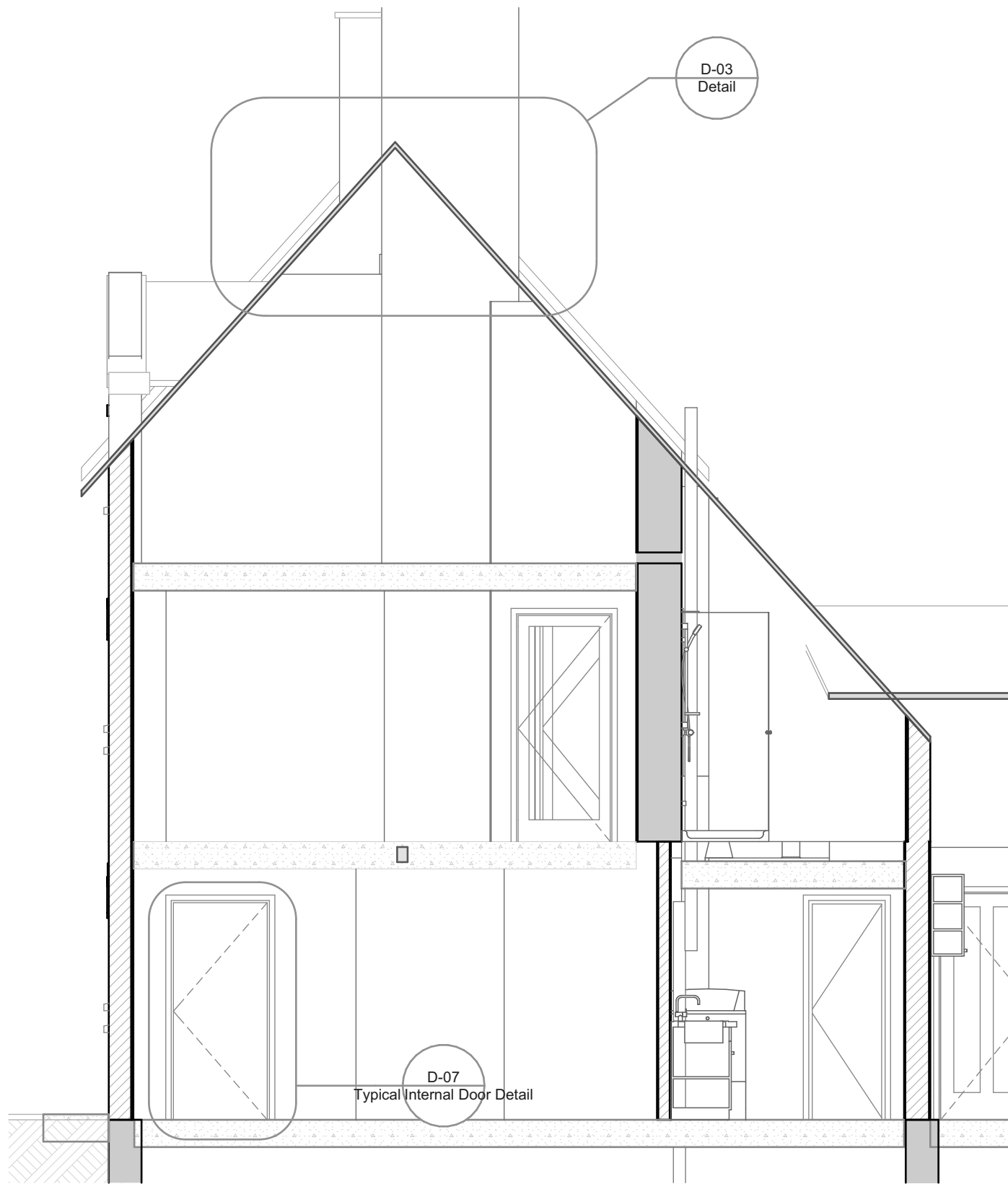
All existing fixtures and features are to be retained, any proposed works to the existing fixtures and features shall be agreed with the conservation officer prior to any works commencing and all materials and methods agreed.



All existing masonry is to be retained and where required, repaired in accordance with the engineers report and designs, all proposed works are to be agreed with the conservation officer prior to any works commencing and all materials and methods agreed.



S-15 Building Section 1:50



S-16 Building Section 1:50

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Construction Risks Maintenance/cleaning Risks Demolition/adaptation Risks
In addition to the hazards/risks normally associated with the types of work detailed on this drawing take note of the above. It is assumed that all works on this drawing will be carried out by a competent contractor working to appropriate Risk Assessments and Method Statements.

Scales @ A1 1:50, 1:25 Project No. ML/765/2020

Date 16-05-2021 Purpose of Issue

Project Renovation and Conservation of The Hunting Lodge

Client

Project address

Layout Title Sections and Details

Drawing Number	number	rev
	A.05	A.2