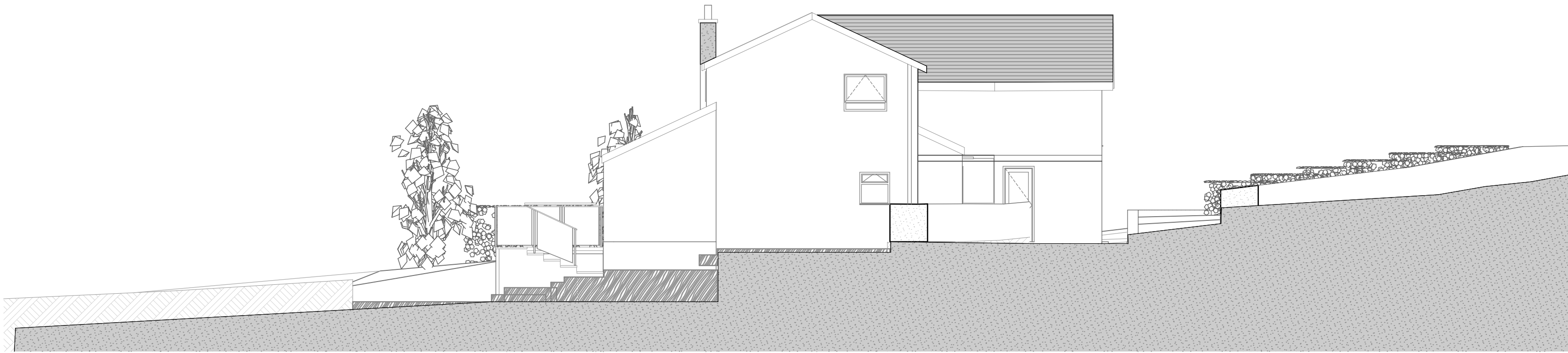
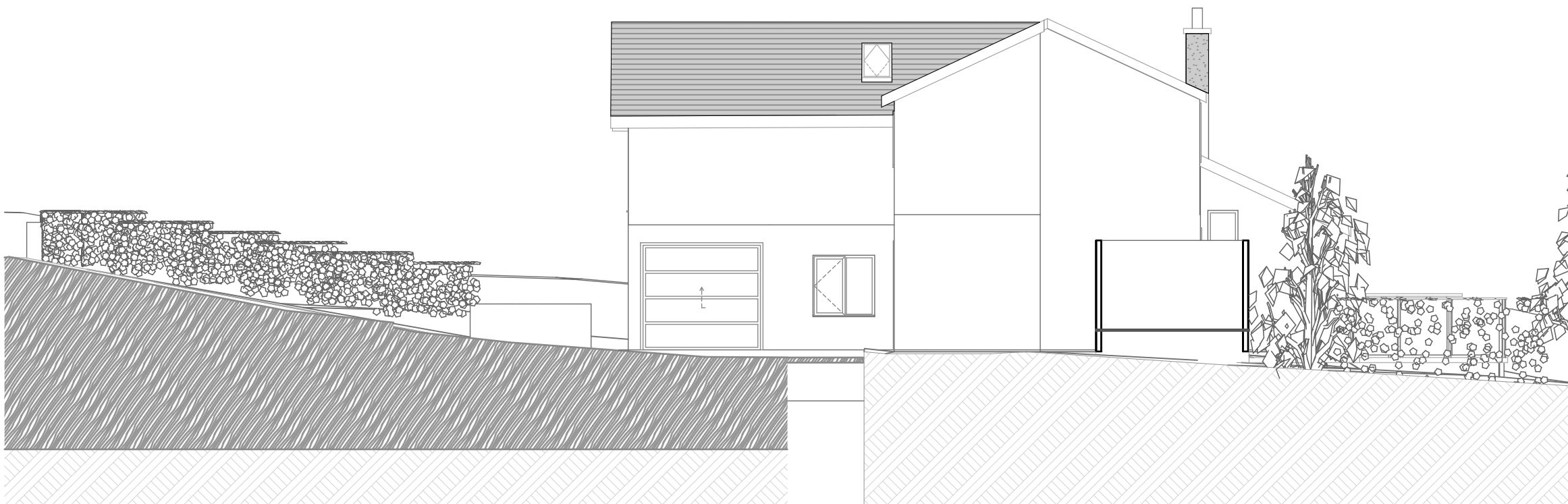
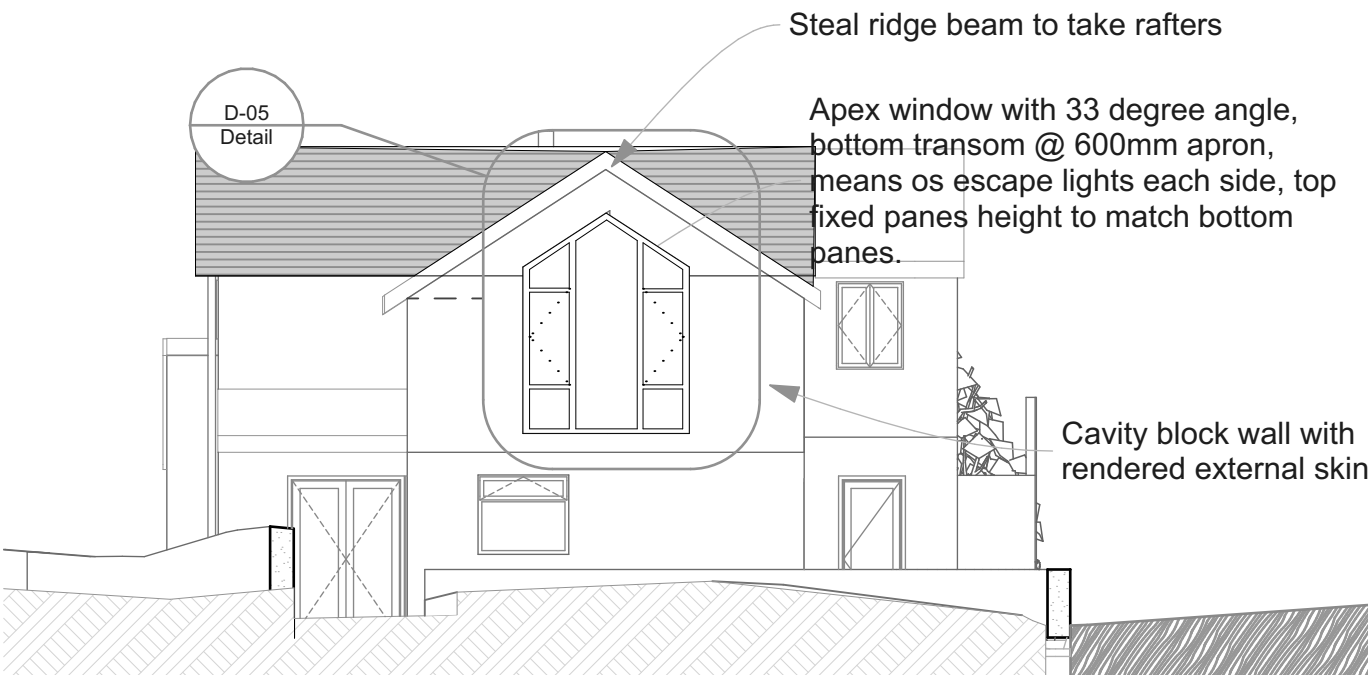




E-02 Elevation 1:100



E-03 Elevation 1:100



E-04 Elevation 1:100



E-05 Elevation 1:100

ROOF

Structural engineers details to be read in conjunction with the specification, detail notes and drawings.
Pitched roof with concrete tile covering on 38 x 25mm tanalised soft wood battens on reinforced breathable roofing felt. All Rafters to be birds-mouthed over ridge beam timber plate and wall plate.
Lay boards to be 18mm WBP ply secured with 50mm ring shank nails, as detailed on drawing construction notes.

FLASHING

B.S. Code 4 lead flashing and soakers to all roof abutments, chimneys, etc, minimum up stand 150mm fixed and pointed into brickwork joint.
Lead Valleys must be code 4 lead in maximum lengths of 1500mm with a minimum of 300mm lap at joints, with minimum 200mm dressed up / under the tile covering. Valley lead to be dressed up and over a tanalised 38mm x 25mm batten running at each side of the valley parallel to the valley, fixed with galvanised nails, valley cut tiles bedded and pointed with 5:1 sand / Cement mortar, in accordance with good practice guidelines issued by the Lead Development Association.

STRAPPING

Wall plate to be anchored to inner skin by 30 x 6mm galvanised steel straps nailed to wall at max. 2m centres and screwed to the internal block work skin.

INTELS

Catnic galvanised steel or similar approved and insulated, fitted in accordance with manufacturer's size and span loadings, with 150 mm. minimum end bearing.

DOORS AND WINDOWS

Windows to all habitable rooms to have background ventilation equivalent to 8000 sq. mm built into frame.
Windows to kitchen and bathroom to have background ventilation equivalent to 4000 mm² built into frame.
Toughened safety glass to all windows where the window sills are within 800mm of the floor and to all glazed doors.

Minimum glazed area to each habitable room equals to min. 1/10th the floor area of the room.
Windows to all habitable rooms at and above first floor level are to be sized for means of escape in the event of fire, in accordance with Building Regulations Approved Document B. The windows to have an unobstructed openable area minimum of 0.33m² and min 450mm wide.

(THIS WOULD EQUATE TO A MINIMUM CLEAR OPENING OF 450MM WIDE BY 735MM HIGH).

The bottom of the openable area to be within 800mm - 1100mm off the floor level.

Double glazed units to have min. 16mm air gaps with a 'soft' low-e coating to achieve a u-value of not greater than 1.8w/m²k.

It is recommended that the escape windows are not able to be locked shut.
Window opening lights to habitable room must be equivalent to at least 5% of the floor area of the room.

All habitable rooms to have high level trickle ventilators in window heads capable of a controlled minimum opening of 8000 mm². All other rooms to be 4000mm² minimum opening width of ventilators to be 5mm

PLUMBING

Hot water pipes in the roof space to be adequately insulated.
100 mm dia U.P.V.C. soil and vent pipe to comply with B.R.E Digest 80 (second series).
All pipe work outside the building fabric insulation layers to be wrapped in a insulation material having a thermal conductivity not exceeding 0.035w/m²k. Thickness to be equal to the outside diameter of the pipe.
All work carried out by suitably qualified tradesman.

SANITARY/KITCHEN FITTINGS

To be armatage shanks or similar approved.
WC's with low level cisterns. Vitreous china WHB's with pedestal and minimum 1700 long acrylic bath, all to client specification.



KITCHEN FITTINGS

Sinks and drainers generally as indicated on plan. Kitchen layout generally to detail including fridge and washing machine spaces.
Hot and cold feed to be provided in the sink unit for washing machine.
All fixtures and fittings to clients specification.

CENTRAL HEATING

New boiler to be condensing boiler with a SEDBUK rating A, and energy efficiency of 90%, suitable for under floor or traditional radiator heating system, all to be confirmed by client at tender stage.
All heating controls are to be to contractor design, but generally zoned as ground and first floor.
All work carried out by CORGI qualified tradesman.

VENTILATION

Mechanical extract fans to be provided to kitchen, bathroom, utility and wc's to the following requirements:

Mechanical :-

To discharge to outside air at the following rates :-

Bathroom 15 L/sec.
W.C. 6 L/sec.
Kitchen 60 L/sec or 30 L/sec if combined in cooker hood.
Utility 30 L/sec.

Control of the extractor fans for bathroom and wc's connected to light switch with min. 15 minutes overrun. (External vent cover to have insect mesh).

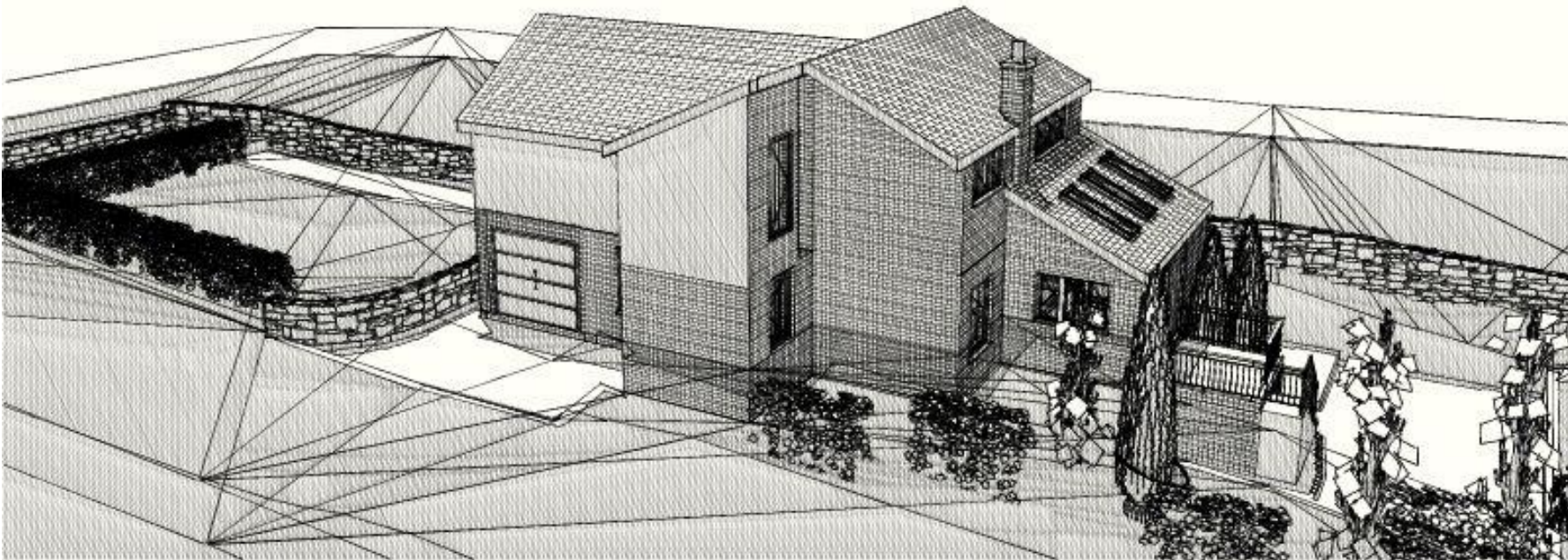
Natural :-

Natural ventilation to all habitable room equivalent to 1/20th the Floor area of the room. Background ventilation built into Window frames as described earlier.

All living rooms containing fireplaces to have 150 x 225mm air brick at low level to provide 450mm² opening for every kw of appliances output rating above 7kw.

SMOKE DETECTION

Provide smoke alarm/detectors with dedicated electrical circuit in accordance with BS. 5839 : Part 6 in locations as shown on floor plans (where no indication is given on plan assume minimum of one detector per storey positioned within the circulation area) Self contained, interlinked smoke detectors wired to be separately fused and protected circuit with battery back up.



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Construction Risks	Maintenance/cleaning Risks	Demolition/adaptation Risks
In addition to the hazards/risks normally associated with the types of work detailed on this drawing take note of the above. It is assumed that all works on this drawing will be carried out by a competent contractor working to appropriate Risk Assessments and Method Statements.		
Scales @ A1		Project No.
1:100		FG/397/2016
Date	Purpose of Issue	
16-11-2017		
Project	Renovation and Extension of Memorial Croft Proposed Elevations and 3D Views	
Client		
Project address		
Layout Title		
Drawing Number	number	rev
	A.04	A.2