



PLASTERER

Masonry walls:
On all new walls, 12.5mm Wall board on board adhesive with taped joints and 5mm skim finish.
On existing solid masonry walls, 50mm insulated plaster boards on awl board adhesive, also mechanically fixed to walls, with skim finish.

Stud walls and ceilings:
12.5 mm plasterboard and 5mm skim finish.
15 mm Sound Block to habitable ground floor area as detailed on drawings.
All existing walls to have 75mm insulation with 12.5mm plasterboard and skim finish.
Dry lining to be sealed around all openings and at junctions with walls, floors and ceilings with a continuous band of adhesive along all edges.

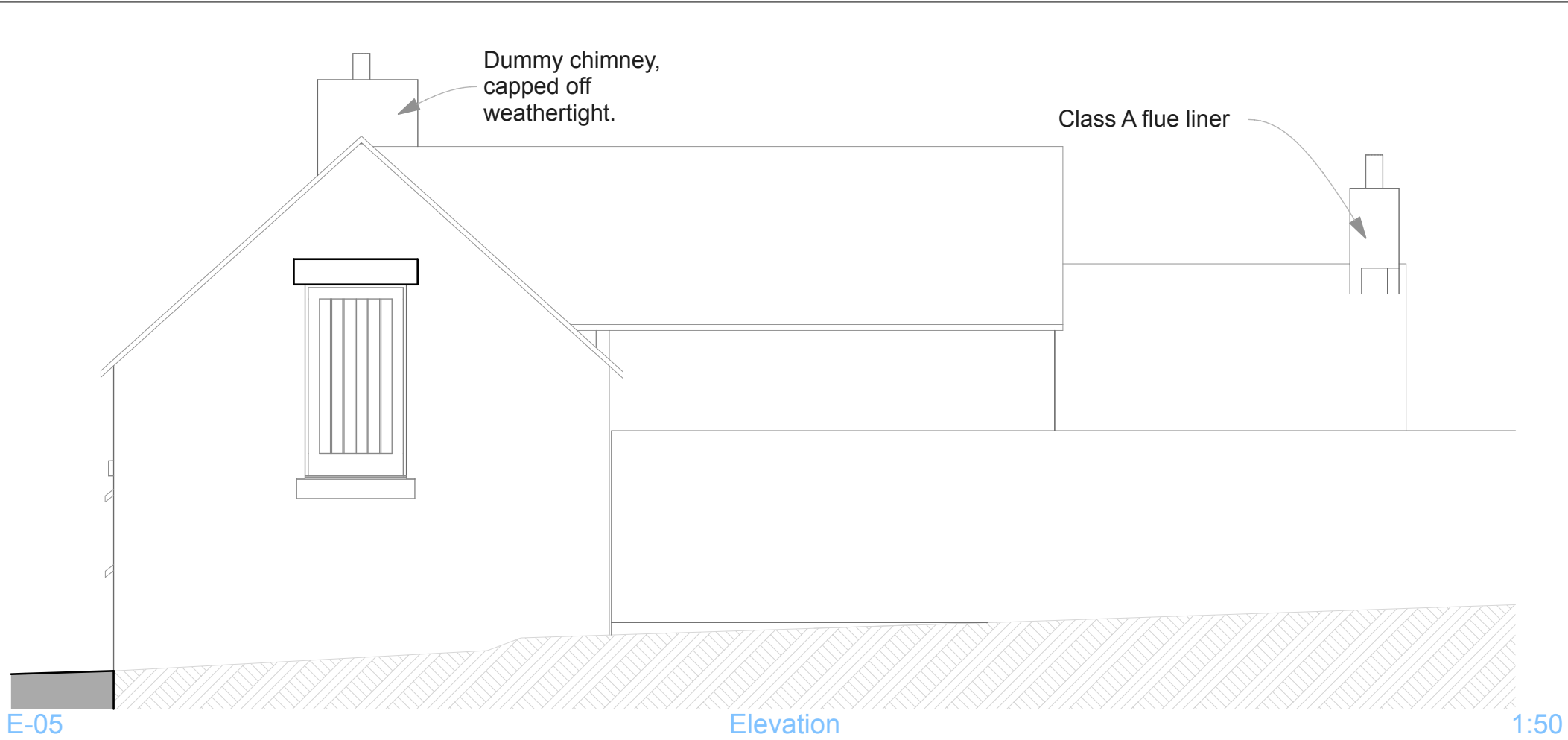
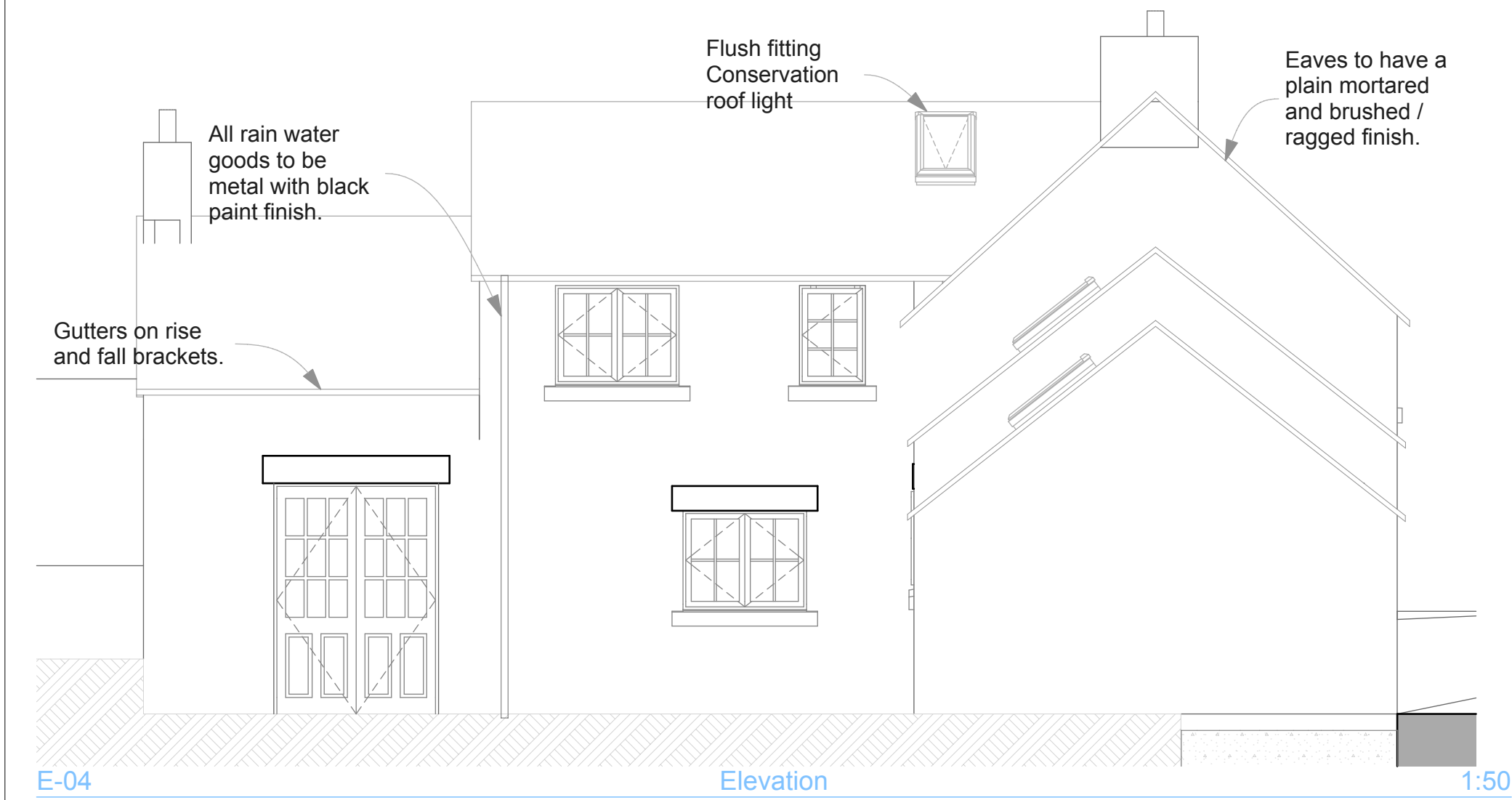
DECORATION

Decoration is to be confirmed with the client, but generally allowed for as follows:
All external joinery will be treated primer, under coat and two coats of gloss paint.
External doors and windows are to be pre-primed prior to delivery and decorated with under coat and two coats of gloss paint.
All walls to have three coats of emulsion and ceilings to have three coats of emulsion.

Window boards and internal doors, architraves, skirting and frames to be decorated using primer, under coat and two coats of gloss paint.

Wall strings, balustrades and handrails to stairs to be decorated using primer, under coat and two coats of gloss paint.

Caulking is required to all abutments.



STRUCTURAL STEELWORK

All steelwork indicated on plan and section is to be sized and detailed by the Structural Engineer, see separate specification / calculations.
All steelwork boxed to give half hour fire resistance where shown. All steel work to have a minimum end bearing of 150mm, on minimum of three courses of blue brick a minimum of 900mm long, or C35 concrete pad stone of 225mm thick by 900mm long.

ROOF

Structural engineers details to be read in conjunction with the specification, detail notes and drawings.
Pitched roof with Staffordshire blue tile covering on 38 x 25mm tantalised soft wood battens on reinforced breathable roofing felt.
All Rafters to be birds-mouthed over timber wall plate. Lay boards to be 18mm WBP ply secured with 50mm ring shank nails, as detailed on drawing construction notes.

FLASHING

B.S. Code 4 lead flashing and soakers to all roof abutments, chimneys, etc, minimum up stand 150mm fixed and pointed into brickwork joint.
Lead Valleys must be code 4 lead in maximum lengths of 1500mm with a minimum of 300mm lap at joints, with minimum 200mm dressed up / under the tile covering.
Valley lead to be dressed up and over a tantalised 38mm x 25mm batten running at each side of the valley parallel to the valley, fixed with galvanised nails, valley cut tiles bedded and pointed with 5:1 sand / Cement mortar, in accordance with good practice guidelines issued by the Lead Development Association.

STRAPPING

Wall plate to be anchored to inner skin by 30 x 6mm galvanised steel straps nailed to wall at max. 2m centres and screwed to the internal block work skin.

LINTELS

Catnic galvanised steel or similar approved and insulated, fitted in accordance with manufacturer's size and span loadings, with 150 mm. minimum end bearing.

STAIRS

Private stairs; maximum rise of 220mm and a minimum going of 220mm. A maximum pitch of 42°. The normal relationship between the dimensions of the rise and going can be expressed as detailed in Approved Document K, which states that twice the rise plus the going (2R+G) should be between 550mm and 700mm.
Pitch the angle between the pitch line (notional line connecting nosing) and the horizontal. The maximum pitch for domestic stairs is 42°.
Height of handrails Minimum domestic handrail heights of 900mm for both stairs and landings. Openings in any balustrade should be less than 100mm at any point in their length.
Minimum head room of 2m on stair path, minimum Landing width and depth must be at least equal to the width of the stair, no door shall open onto the stair or landing other than at the base of the stairs where there is a clear remaining area of at least 400mm from the stair to the arc of the door swing, in all other instances any door must open away from the stair off a suitable landing area.

DOORS AND WINDOWS

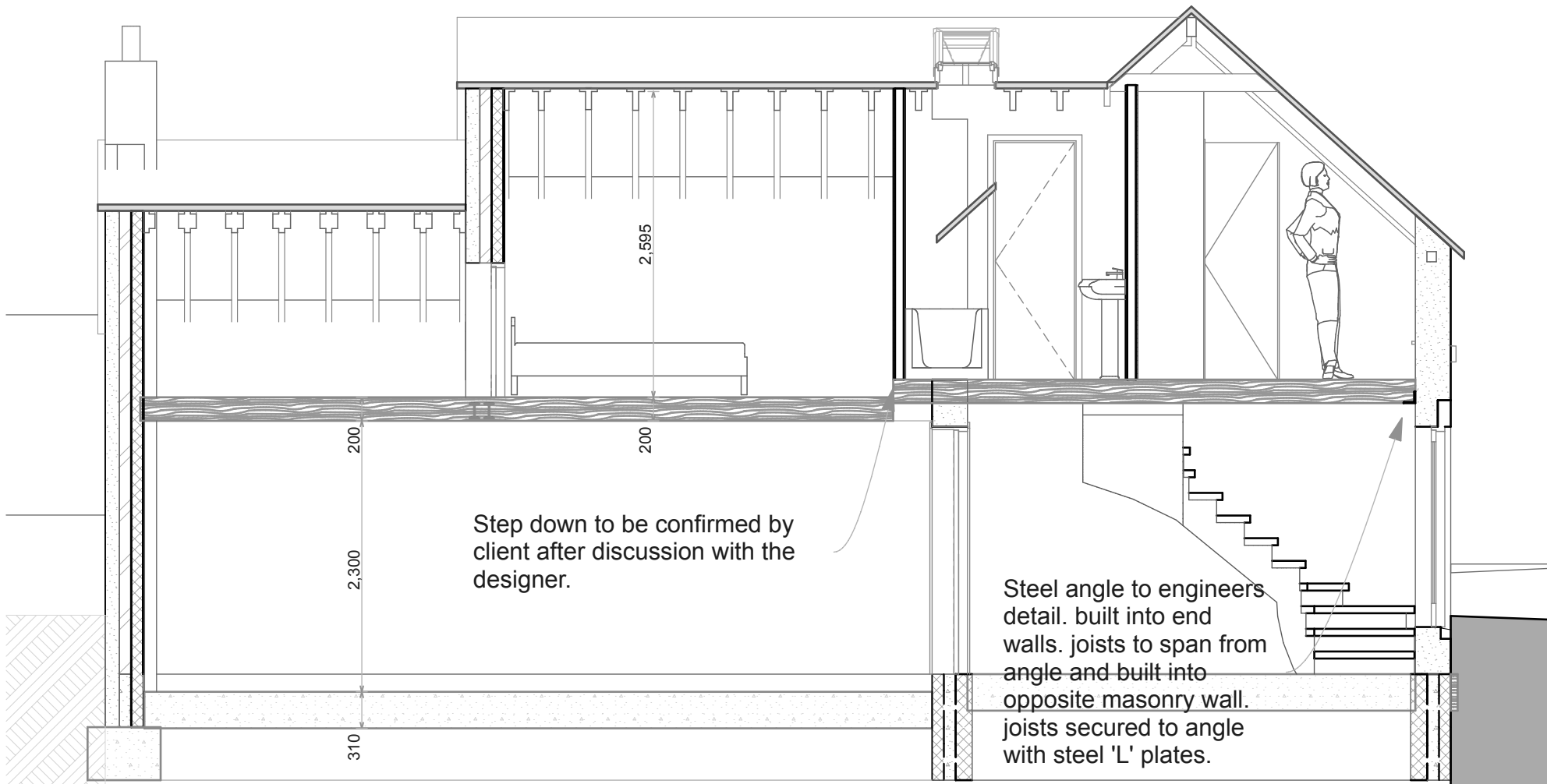
Hardwood timber casement windows as detailed, with a paint finish, colour to be agreed with the planning department. Windows to all habitable rooms to have two stage catches to allow for background ventilation. Toughened safety glass to all windows where the window sills are within 800mm of the floor and to all glazed doors.
Windows to all habitable rooms at and above first floor level are to be sized for means of escape in the event of fire, in accordance with Building Regulations Approved Document B. The windows to have an unobstructed openable area **minimum of 0.33m²** and min 450mm wide.

(THIS WOULD EQUATE TO A **MINIMUM CLEAR OPENING OF 450MM WIDE BY 735MM HIGH**).

The bottom of the openable area to be within 800mm - 1100mm off the floor level.
Double glazed units to have min. 16mm air gaps with a 'soft' low-e coating to achieve a u-value of not greater than 1.8w/m²k.
It is recommended that the escape windows are not able to be locked shut.
Window opening lights to habitable room must be equivalent to at least 5% of the floor area of the room. All habitable rooms to have high level trickle ventilators in window heads capable of a controlled minimum opening of 8000 mm². All other rooms to be 4000mm² minimum opening width of ventilators to be 5mm

PLUMBING

Hot water pipes in the roof space to be adequately insulated.
100 mm dia U.P.V.C. soil and vent pipe to comply with B.R.E Digest 80 (second series).
All pipe work outside the building fabric insulation layers to be wrapped in a insulation material having a thermal conductivity not exceeding 0.035w/m²k. Thickness to be equal to the outside diameter of the pipe.
All work carried out by suitably qualified tradesman.



SANITARY/KITCHEN FITTINGS

To be armatage shanks or similar approved.
WC's with low level cisterns. Vitreous china WHB's with pedestal and minimum 1700 long acrylic bath, all to client specification.

KITCHEN FITTINGS

Sinks and drainers generally as indicated on plan. Kitchen layout generally to detail including fridge and washing machine spaces.
Hot and cold feed to be provided in the sink unit for washing machine.
All fixtures and fittings to clients specification.

CENTRAL HEATING

New boiler to be condensing boiler with a SEDBUK rating A, and energy efficiency of 90%, suitable for under floor or traditional radiator heating system, all to be confirmed by client at tender stage.
All heating controls are to be to contractor design, but generally zoned as ground and first floor.
All work carried out by CORGI qualified tradesman.

VENTILATION

Mechanical extract fans to be provided to kitchen, bathroom, utility and wc's to the following requirements:

Mechanical :-

To discharge to outside air at the following rates :-
Bathroom 15 L/sec.
W.C. 6 L/sec.
Kitchen 60 L/sec or 30 L/sec if combined in cooker hood.
Utility 30 L/sec.
Control of the extractor fans for bathroom and wc's connected to light switch with min. 15 minutes overrun.
(External vent cover to have insect mesh).

Natural :-

All living rooms containing fireplaces to have 150 x 225mm air brick at low level to provide 450mm² opening for every kw of appliances output rating above 7kw.

LIGHTING

To be in accordance with L1 of the Building Regulations approved documents paragraphs 1.54 – 1.56 and Table 4.

All external lighting to be provided with energy efficient lamps which automatically extinguish in daylight in accordance with L1 of the Building Regulations Approved Documents paragraphs 1.57.



8 Summer Lane, Wirksworth, Derbyshire, DE4 4EB

Job Title

Renovation and Extension of Old Miners Cottage

Mr & Mrs L. Maddocks
15 Trafalgar Road
Lympton
Exmouth
Devon
EX8 5HU

Drawing Name

Elevations and Sections

Drawing Status

Construction Drawing

Drawn by **Frank Gratton** Date: 15/02/2015

Drawing Scale

1:50

Layout ID Status Revision

A.03 **A.1**