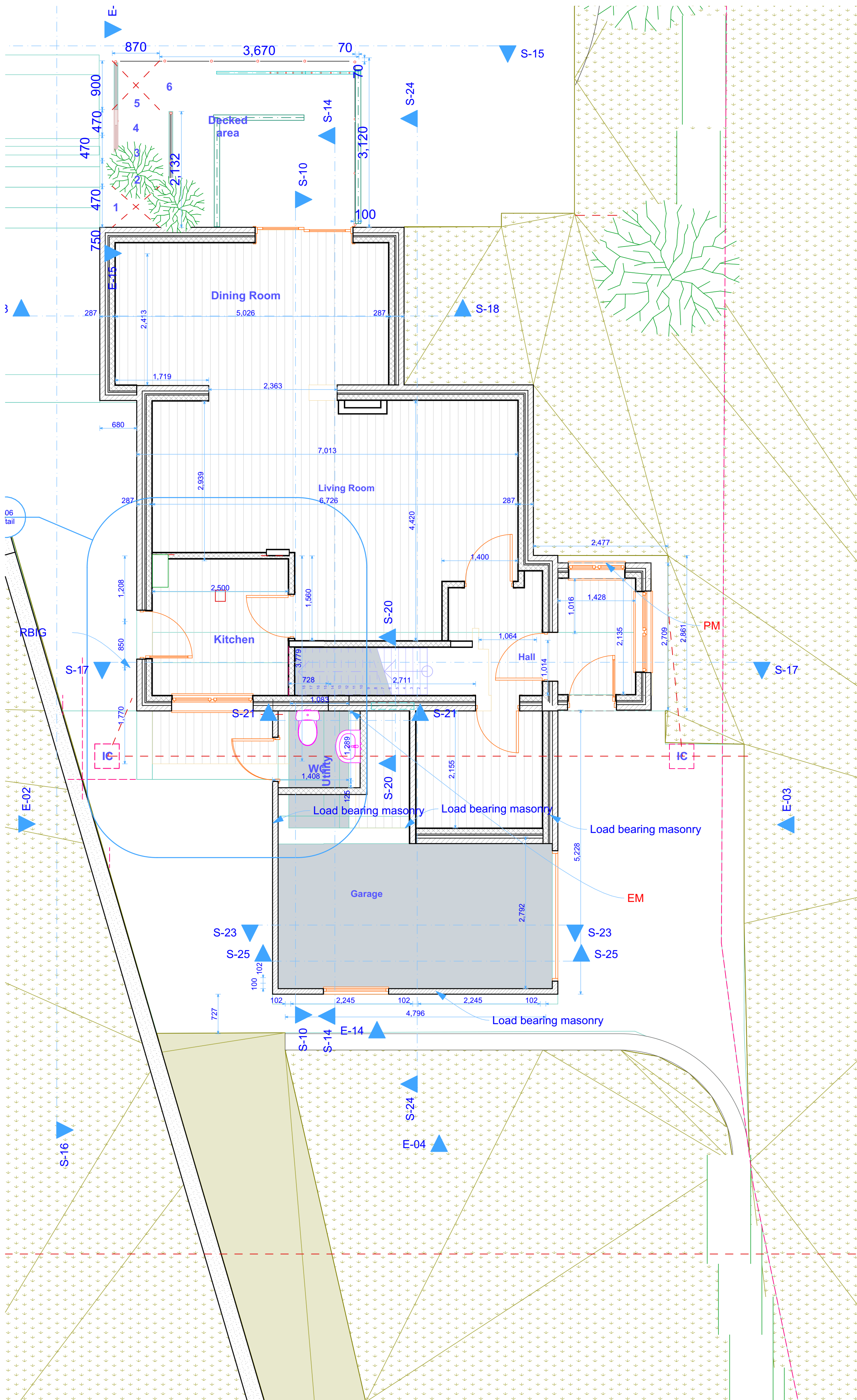
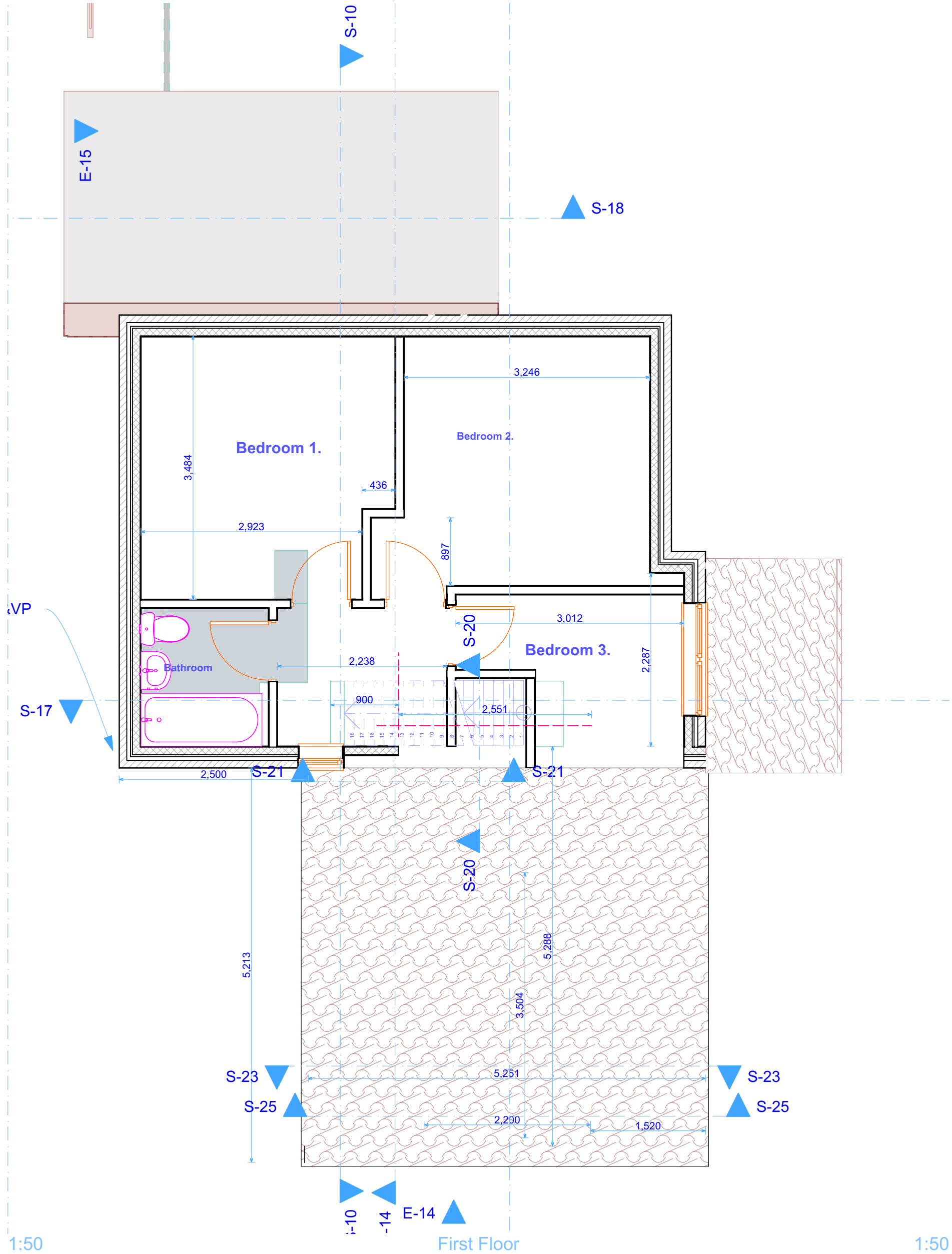




1:50 Ground Floor 1:50



1:50 First Floor 1:50

THESE CONSTRUCTION NOTES ARE TO BE READ IN CONJUNCTION WITH THE ASSOCIATED PLANS, DETAILS AND STRUCTURAL CALCULATIONS.

The construction notes, and any associated design documents, drawings and schedules are for information only and do not constitute a bill of quantities or schedule of works.

Accurate quantifying of materials and/or labor for construction or procurement purposes are the responsibility of the principle contractor and their representatives.

Contractors are advised to visit the site, examine the plans and make due allowance in his / her prices for all work necessary to ensure a complete and suitable finish (no extras will be considered due to a lack of information) including the removal of debris from site upon completion.

DESCRIPTION OF WORKS

Two storey side and single storey rear / side extension to an existing detached two-storey dwelling.

FITNESS OF MATERIALS AND WORKMANSHIP

All materials shall be new unless otherwise specified and shall comply with the current British Standards/Codes of Practice and or have a BBA Certificate. All materials/components shall be used and fixed in accordance with the manufacturers current technical literature/recommendations and to be fit for the purpose intended. Variation of the specified materials shall not be permitted unless approved by the owner / agent and building control surveyor. All work is to be constructed to the complete satisfaction of the owner / agent and Building Control surveyor.

All softwood is to be pressure preservative impregnated 'vac-vac' or equal approved, with brush-applied treatment to all site cut ends in accordance with the manufacturer's instructions. All screws and fixings are to be non ferrous. All materials and fittings incorporated in the works shall be handled, stored and fixed strictly in accordance with the manufacturer's instructions.

All workmanship will comply with the Building Regulations Approved Documents, NHBC Standards, and And British Standard Codes of Practice.

STATUTORY CONSENTS

Building Regulations Consent must have been granted before work commences on site unless the Local Authority has confirmed otherwise, if in any doubt advice can be sought from the agent. Any changes in dimensions must be reported to the Agent, Client and the Local Authority development control. Materials used as external finishes shall be to the approval of the Local Authority Planning Department where required under the planning conditions, the principle contractor to obtain agreement in writing from Local Planning Authority prior to commencement.

BUILDING REGULATION NOTES

The proposed works shall be constructed in accordance with the current Building Regulations and relevant British standards and or codes of practice. In the event of any doubt as to the appropriate construction detail or methods of construction, clarification must be sought from Ashtton Associates Ltd. It shall be the responsibility of the main contractor to notify the appointed Building Control provider at the required stages of construction, which shall be at the following stages as a minimum requirement with any other requests for site inspections as shall be deemed necessary:-

1. Commencement / Site clearance
2. Foundation Excavation
3. Reinforcement prior to concreting
4. Damp Proof Course / Tanking
5. Ground Floor Preparation / Insulation / DPM
6. Drains Laid Prior to Backfilling
7. Drain Test
8. Upper Floor Construction
9. Roof Construction
10. Pre Plaster
11. Steelwork Installed
12. Occupation
13. Completion

THE PARTY WALL ACT ETC 1996

Principle contractor / Owner to serve notice on neighbours who may be affected by the proposed work, where The Party Wall Act etc. 1996 applies. Further advice should be sought from the designer if in any doubt.



Survey Data2 Worksheet 1:1250

CDM: CONSTRUCTION (DESIGN & MANAGEMENT) REGULATIONS 2007

Designer's identification and assessment of risks, which can reasonably be foreseen, are noted. The general building operations involved are deemed to be hazardous with varying levels of risk. The general risk areas are as follows;

- DEMOLITION
- USE OF VIBRATION EQUIPMENT
- WORK AT HEIGHTS
- USE OF LADDERS/STEP LADDERS
- SCAFFOLDING
- MOBILE ACCESS/WORKING TOWERS
- USE OF TRESTLES
- EXCAVATIONS
- CONFINED SPACE WORK
- BURIED SERVICES
- FOUL/STORM DRAINAGE
- LIFT OPERATIONS
- LONE WORKING
- MANUAL HANDLING
- ELECTRICITY ON SITE
- FIRE
- CONTROL OF ASBESTOS
- BROKEN GLASS REPLACEMENT
- LIVE OVERHEAD SERVICES
- ACCESS AND EGRESS
- PLANT AND MACHINERY
- STORAGE AND SECURITY
- NOISE
- CUTTING AND GRINDING

The work will involve many or all of the above operations, which carry varying levels of risk to operatives, members of the public, visitors and occupants. It is therefore imperative that the principle contractor exercises his responsibility with regards to the CDM Regulations 2007, if the principle contractor is in any doubt about his responsibilities he must contact the agent immediately for further advises.

Disclaimer

1. Purpose and Use:
These drawings have been prepared for the specific purpose of the project detailed and are intended for use only by the designated recipient(s). They must not be used for any other purpose without prior written consent. These drawings remain the property of Ashtton Associates Ltd. and are subject to copyright. They must not be reproduced or distributed without written permission.

2. Accuracy of Information and Site Conditions:
While every effort has been made to ensure the accuracy of the information provided in these drawings, users of these drawings should verify dimensions, levels, and all site conditions prior to commencing work. Any discrepancies or deviations must be reported to the Principal Designer immediately. No reliance should be placed on scaled measurements.

3. Regulatory Compliance:
These drawings must be used in conjunction with all applicable UK legislation, including but not limited to the Building Regulations, Planning Permission, and Health & Safety standards (e.g., CDM Regulations, The Building Safety Act). Compliance with such regulations remains the responsibility of the contractor(s) or any third party using these drawings.

4. Liability:
The issuer accepts no liability for inaccuracies, misinterpretations, or errors arising from unauthorised changes or use of these drawings. The contractor and any other parties are responsible for ensuring all works comply with the approved design, statutory requirements, and any conditions set by the Local Authority.

5. Third-Party Information:
These drawings may incorporate information from third parties (e.g., structural, mechanical, or electrical consultants). Responsibility for verifying the accuracy and compatibility of this information lies with the relevant consultant or contractor.

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Construction Risks Maintenance/cleaning Risks Demolition/adaptation Risks

In addition to the hazards/risks normally associated with the types of work detailed on this drawing take note of the above. It is assumed that all works on this drawing will be carried out by a competent contractor working to appropriate Risk Assessments and Method Statements.

Scales @ A1

1:50, 1:1250

Project No. FG/397/2016

Date 16-11-2017 Purpose of issue

Project Renovation and Extension of Memorial Croft

Client

Project address

Layout Title Existing Plans, Block Plan and OS Plan.

Drawing Number

number	rev
A.01	A.2